

BOARD OF SUPERVISORS

CRAIG BROWN, CHAIRMAN – DISTRICT 4

JAMES GREGORY, MEMBER – DISTRICT 2

HARRY B. OBERG, MEMBER – DISTRICT 1

DONNA G. MICHAELS, Ph.D., MEMBER – DISTRICT 3

MARY MALLORY, VICE-CHAIR – DISTRICT 5



aps

To avoid construction delays and added construction fees  
Contact APS BEFORE you start construction;  
APS Prescott Office: 928-443-4797; [prescott@apsaz.com](mailto:prescott@apsaz.com)  
APS Cottonwood Office: 928-648-8502; [cottonwood@apsaz.com](mailto:cottonwood@apsaz.com)  
APS Wickenburg Office: 928-371-4200; [wickenburg@apsaz.com](mailto:wickenburg@apsaz.com)

2018  
IRC/IBC

2006  
IECC

APPROVAL IS SUBJECT TO FIELD  
INSPECTION AND COMPLIANCE  
WITH ALL RELEVANT CODES,  
LAWS AND ORDINANCES

THE ENGINEERED GEOTECHNICAL REPORT  
IS A PART OF THE PERMITTED DOCUMENTS,  
AND SHALL BE ONSITE AT ALL TIMES  
WITH THE PERMITTED PLANS.

DEVELOPMENT SERVICES

DAVID C. WILLIAMS, DIRECTOR

JEREMY DYE, ASSISTANT DIRECTOR

CARRIE HOLMES, CHIEF BUILDING OFFICIAL

CALL TWO  
WORKING DAYS  
BEFORE YOU DIG  
1-800-STAKE-IT  
1-800-762-5348  
YAVAPAI COUNTY

IMPORTANT!  
Footings will not be  
inspected until all property  
corners are properly pinned,  
flagged and easily  
identifiable to the inspector.

TRUSS CALCULATIONS  
TO BE ON SITE AT TIME  
OF INSPECTION

12/08/2021

YAVAPAI COUNTY BUILDING DEPT.  
( ) REVIEWED FOR CODE COMPLIANCE  
( ) REVIEWED AS NOTED WITH CORRECTION  
X ENGINEERING REVIEWED FOR DESIGN CRITERIA ONLY  
THE ISSUANCE OF A PERMIT BASED ON PLANS,  
SPECIFICATIONS, AND OTHER DATA, SHALL NOT PREVENT  
THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING  
THE CORRECTION OF ERRORS IN SAID PLANS,  
SPECIFICATIONS, AND OTHER DATA, OR FROM PREVENTING  
BUILDING OPERATIONS BEING CARRIED ON THEREAFTER,  
WHEN IN VIOLATION OF THIS CODE OR ANY OTHER  
ORDINANCES OF THIS JURISDICTION - SEC. 105.4  
PLANS EXAMINER: DATE: \_\_\_\_\_



Mark Rogers, Architect, PLLC

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Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
[architect914@cableone.net](mailto:architect914@cableone.net)

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS TO AQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.
11. ALL INTERIOR WALL, AND CEILING FINISHES, SHALL BE TAPED, TEXTURED, AND PAINTED 1/2" DRYWALL. PROVIDE 'GREENBOARD' BEHIND ALL TUB ENCLOSURES.

INDEX TO DRAWINGS

|       |   |
|-------|---|
| CS    | COVER SHEET                                   |
| A-1.0 | FLOOR PLAN / SCHEDULES                        |
| A-1.1 | ALTERNATE GARAGE PLAN                         |
| A-2.0 | FOUNDATION PLAN / ROOF FRAMING PLAN / DETAILS |
| A-3.0 | EXTERIOR ELEVATIONS / BLDG. SECTION           |
| ME-1  | HVAC / ELECTRICAL PLANS                       |

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

2018 INTERNATIONAL PLUMBING CODE (IPC)

2018 INTERNATIONAL MECHANICAL CODE (IMC)

2017 NATIONAL ELECTRIC CODE (NEC)

2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE: 787 SQ. FT.

CARPORT/ALT. GARAGE: 400 SQ. FT.

COVERED ENTRY: 33 SQ. FT.

TOTAL UNDER ROOF: 1,220 SQ. FT.

OCCUPANCY: R-3 (Single-Family Residential)

TYPE V-B CONSTRUCTION / NON-SPRINKLERED

EFFECTIVE APRIL 20, 2006

FULLY SHIELDED FIXTURES ARE  
REQUIRED FOR ALL EXTERIOR LAMPS

RAIN GUTTERS AND DOWNSPOUTS ARE REQUIRED

POSITIVE DRAINAGE AWAY FROM THE STRUCTURE IS REQUIRED

REFER TO THE GEOTECHNICAL REPORT FOR ANY  
ADDITIONAL REQUIREMENTS

PER GEOTECH REQUIREMENTS  
12/08/2021  
Luis Tamayo

SPECIAL INSPECTION  
REQUIRED

Reports to be supplied to  
Building Inspector

CAUTION

Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor shall Not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project.

Yavapai County Ordinance, Section 112.6  
Drainage across Property Lines.

Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.

REVIEWED FOR  
DESIGN CRITERIA  
ONLY

COVER SHEET  
2 BEDROOM / 2 BATH – RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

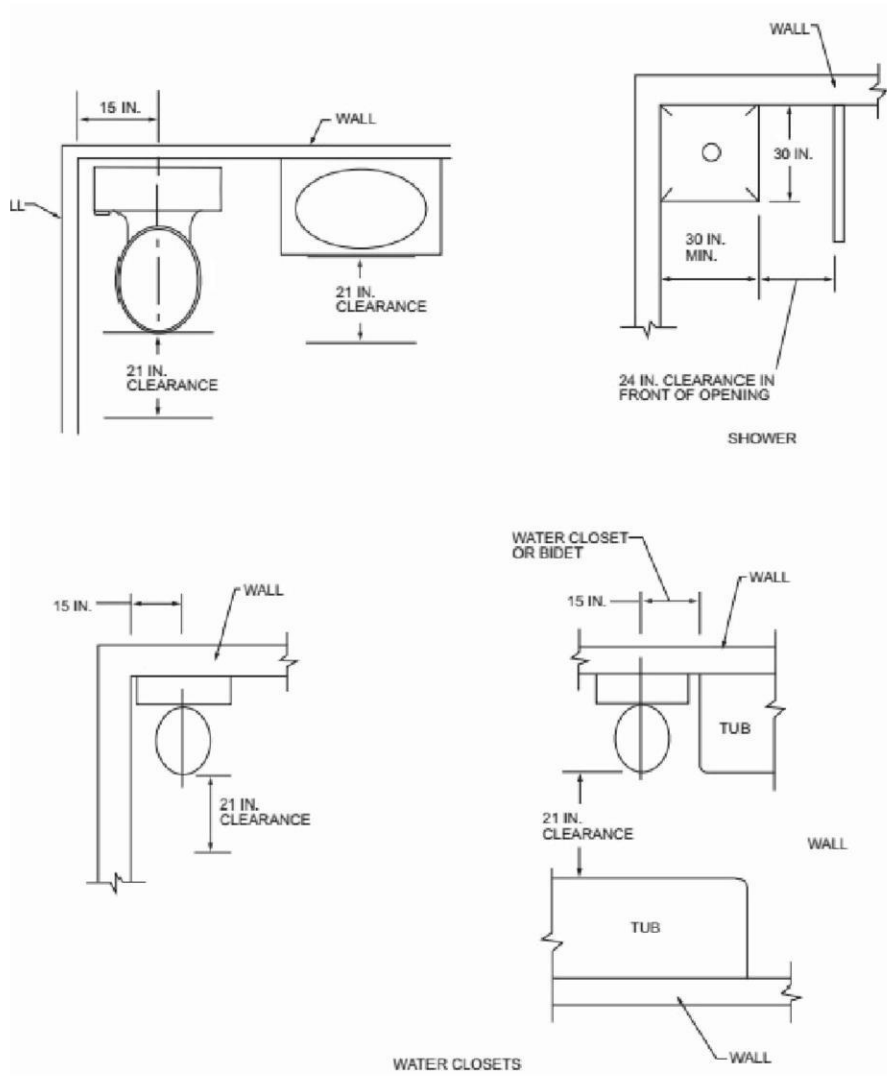
1015 FAIR STREET  
PRESCOTT, ARIZONA

Job no. : 2BDRM / 2BA  
Date : 07/07/2021  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

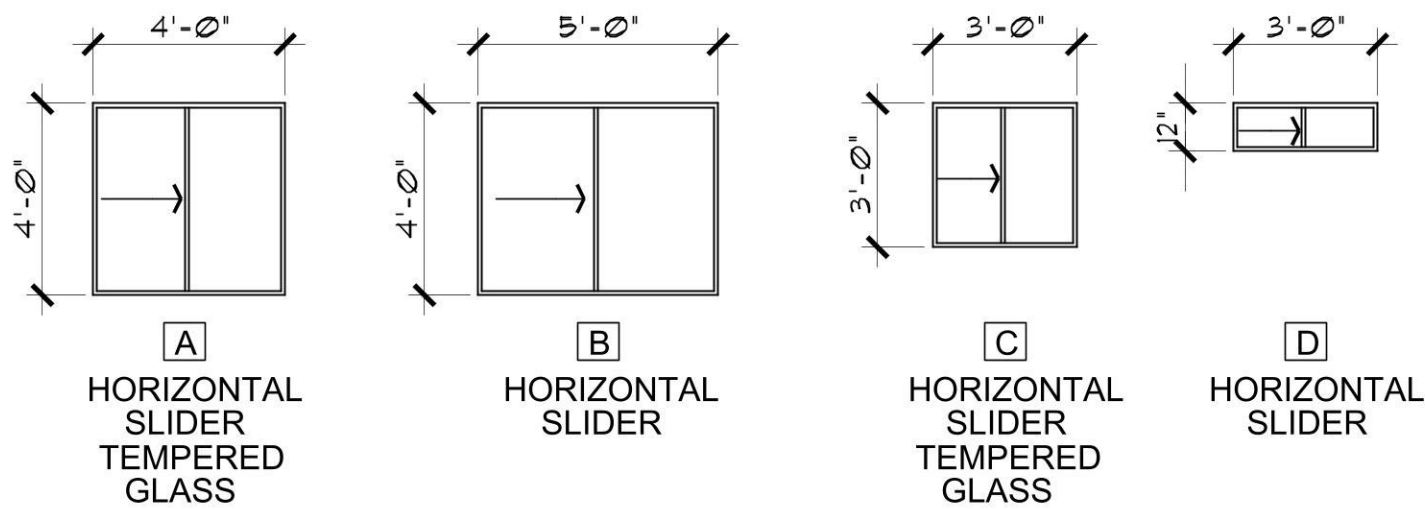
This drawing is the property of Mark Rogers, Architect, PLLC, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.





PLUMBING FIXTURE CLEARANCES  
NO SCALE PER IRC FIGURE R310.1



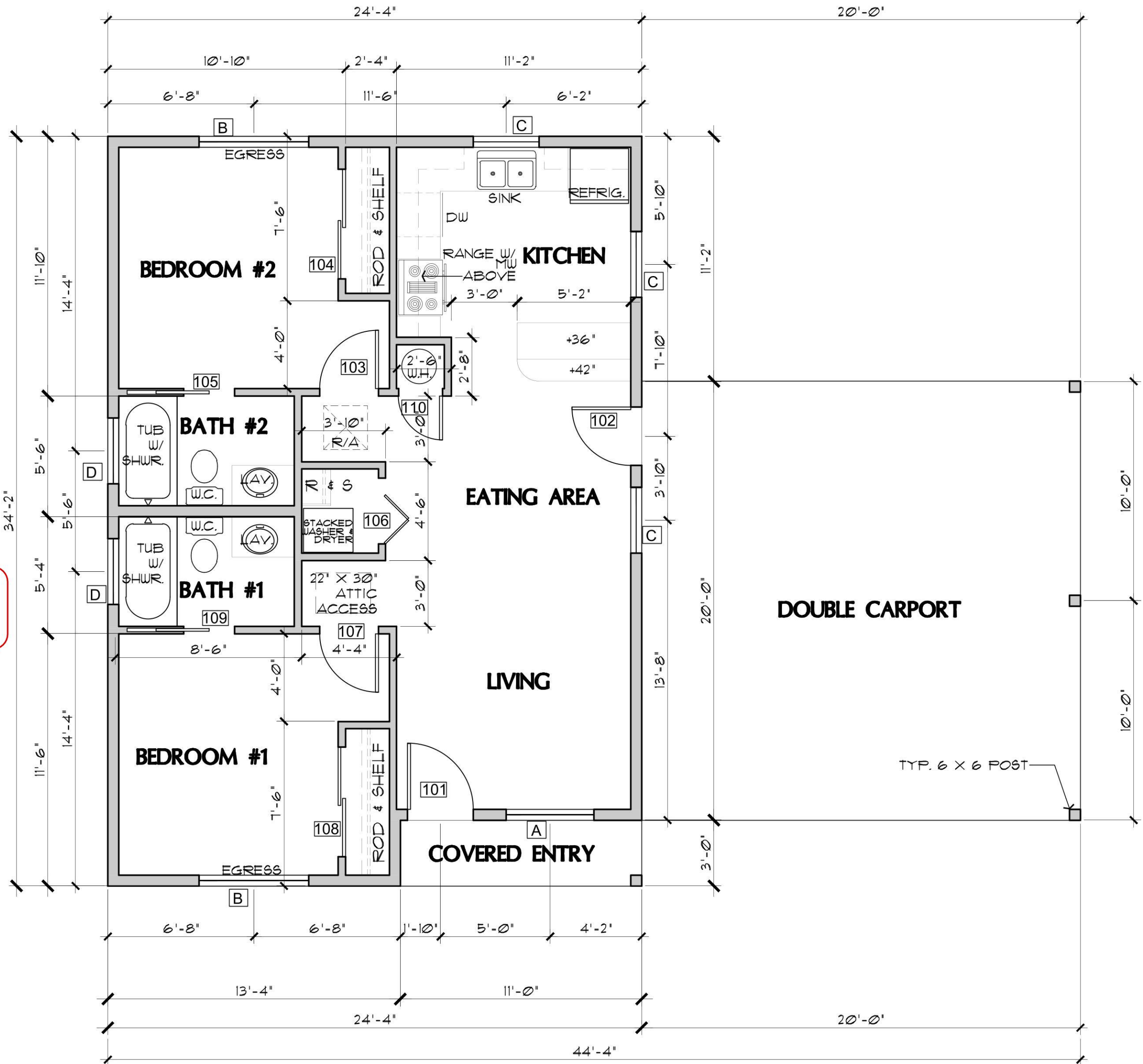
WINDOW TYPES

SCALE: 1/4" = 1'-0"

WINDOWS SHALL BE VINYL FRAME  
MAX. U-FACTOR: 0.40  
(OPTION TO ELIMINATE FOUNDATION  
INSULATION IF USING 0.32 OR BELOW  
U-FACTOR)

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.)  
SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A  
MAXIMUM FENESTRATION SHGC FACTOR OF 0.40.  
FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE)  
SHALL HAVE A MAXIMU U-FACTOR OF 0.40. THE SHGC  
FACTOR IN ZONE 4 IS NOT APPLICABLE.

PROVIDE AT LEAST ONE  
WINDOW OR EXTERIOR  
DOOR APPROVED FOR  
EMERGENCY ESCAPE OR  
RESCUE FOR EVERY ROOM  
USED FOR SLEEPING  
PURPOSES. SECTION R310.1.



FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

| DR.<br># | SIZE  |       |        | DOOR TYPE   | REMARKS   |
|----------|-------|-------|--------|---|---|
|          | W.    | H.    | T.     |   |   |
| 101      | 3'-0" | 6'-8" | 1-3/4" | EXTERIOR 6-PANEL SOLID-CORE WOOD                          |   |
| 102      | 2'-8" | 6'-8" | 1-3/4" | 2-PANEL SOLID-CORE WOOD W/<br>TEMPERED GLASS VISION PANEL | SELF-CLOSING & SELF-LATCHING<br>PROVIDE THRESHOLD AND<br>WEATHERSTRIPPING |
| 103      | 2'-8" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL HOLLOW CORE                              |   |
| 104      | 5'-0" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SLIDING BI-PASS                          |   |
| 105      | 2'-4" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SLIDING POCKET DOOR                      |   |
| 106      | 3'-0" | 6'-8" | 1-1/8" | INTERIOR 4-PANEL HOLLOW CORE                              |   |
| 107      | 2'-4" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SLIDING POCKET DOOR                      |   |
| 108      | 5'-0" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SLIDING BI-PASS                          |   |
| 109      | 2'-8" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SOLID CORE                               |   |
| 110      | 2'-0" | 6'-8" | 1-3/8" | INTERIOR 4-PANEL SOLID CORE                               | FULL LOUVERED DOOR IS USING<br>A GAS WATER HEATER                         |
| 111      | 2'-8" | 6'-8" | 1-3/8" | 4-PANEL SOLID CORE FROM GARAGE                            | SELF-CLOSING & SELF-LATCHING<br>PROVIDE THRESHOLD AND<br>WEATHERSTRIPPING |

The inspector may require further clarification on stamped  
plans. This may include, but not limited to a special  
inspection and /or a cross section detail stamped and  
signed by the Designer/Architect/Engineer of record.

APPROVAL IS SUBJECT TO FIELD  
INSPECTION AND COMPLIANCE  
WITH ALL RELEVANT CODES,  
LAWS AND ORDINANCES

REVIEWED FOR  
DESIGN CRITERIA  
ONLY

PROJECT INFO / FLOOR PLAN /  
OPENING SCHEDULES  
2 BEDROOM / 2 BATH – RIGHT PARKING  
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

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Revisions:

SHEET NO:

A-1.0







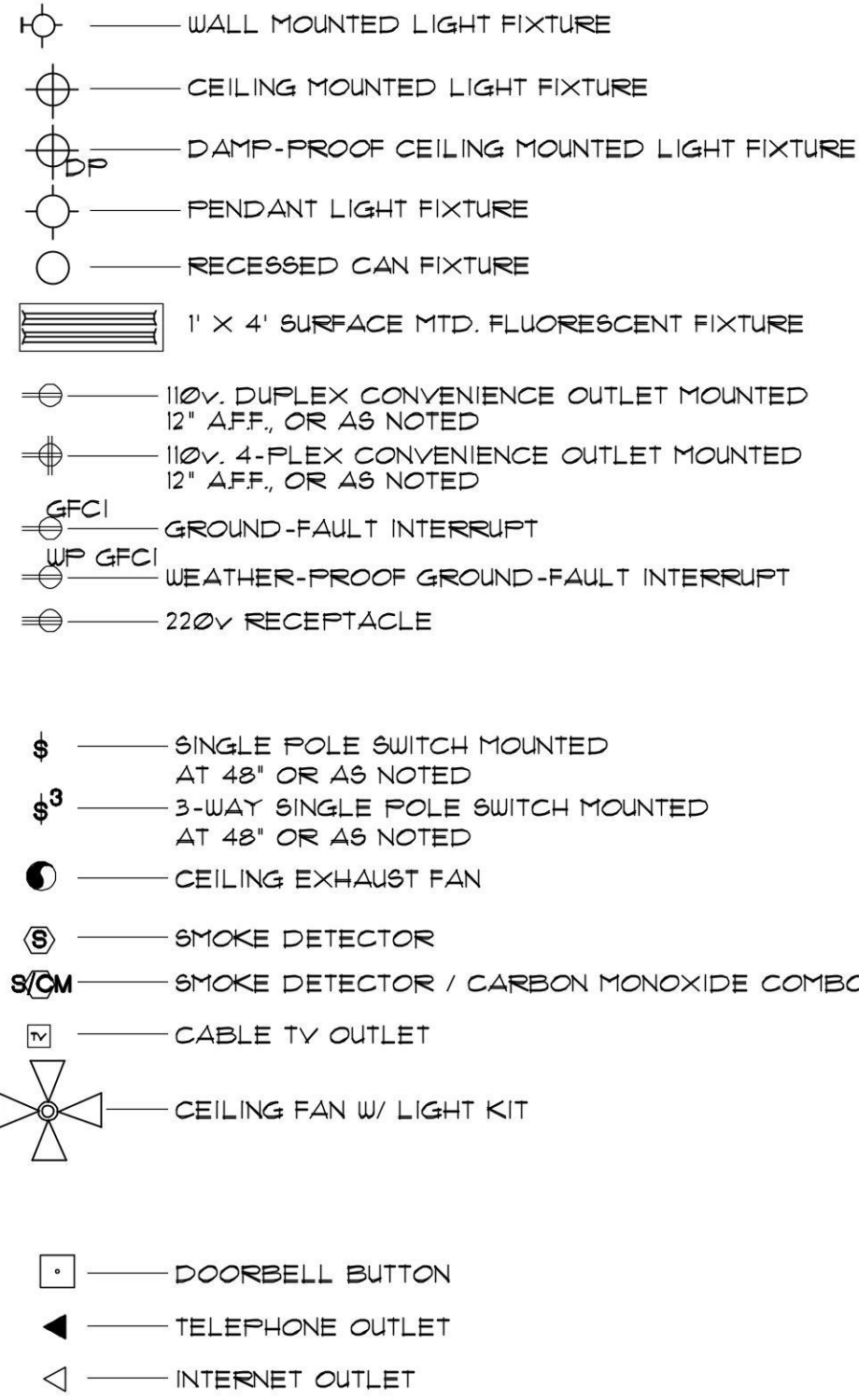








ELECTRICAL SYMBOLS



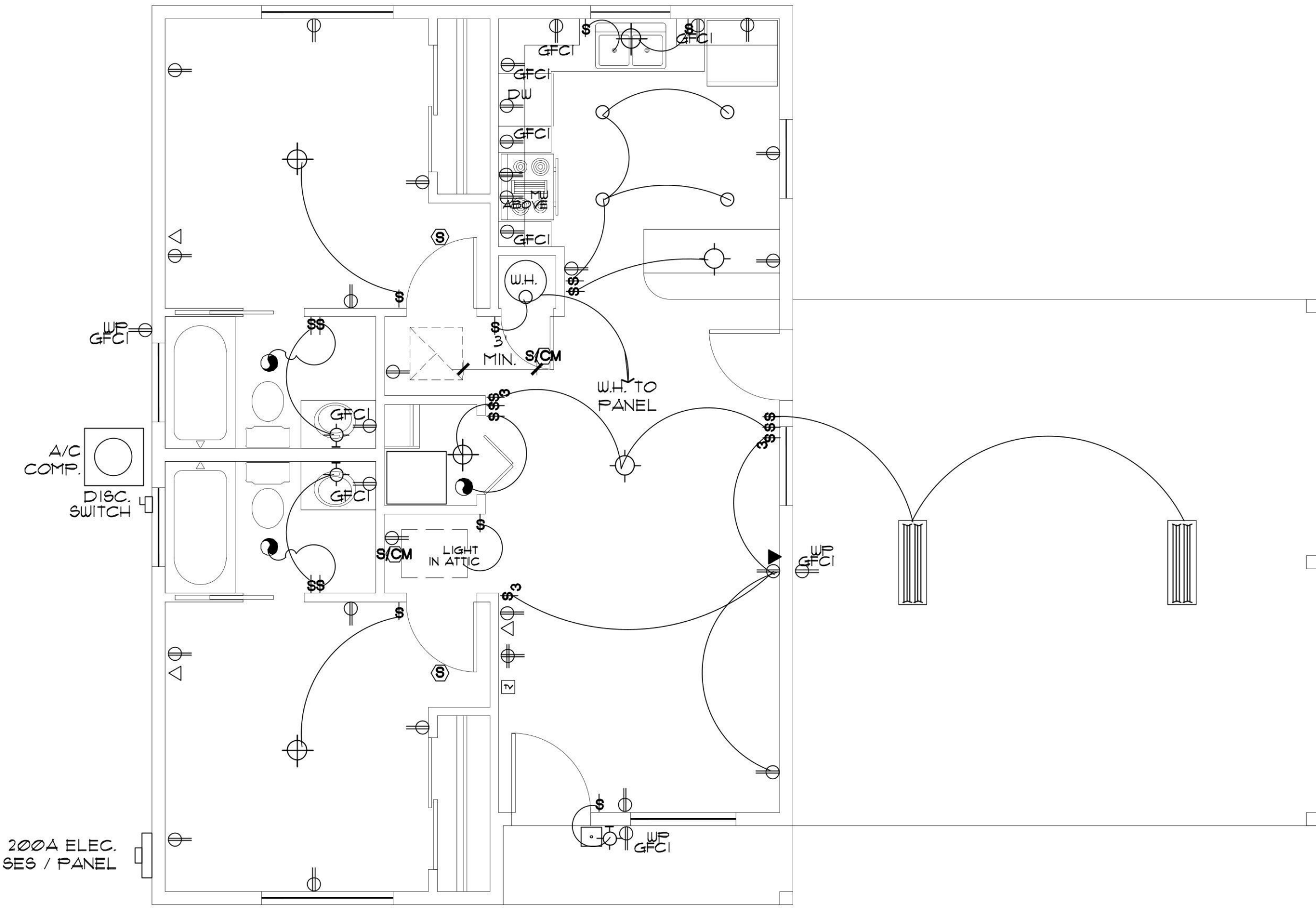
ELECTRICAL GENERAL NOTES

- 1. ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO N.E.C.- 2017 EDITION.
- 2. ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET. WALL SECTIONS 2' OR LARGER & KITCHEN COUNTERS WIDER THAN 12" SHALL BE SERVICED BY A RECEPTACLE.
- 3. ALL RECEPTACLES IN BATHROOMS, OUTSIDE & WITHIN 6' OF WATER SOURCE SHALL BE GFCI.
- 4. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE CIRCUIT & SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING & SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.
- 5. LIGHTS IN CLOSETS SHALL BE 18" FROM SHELVING (MEASURED HORIZTL. OR BE RECESSED).
- 6. PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 20A BRANCH CIRCUIT TO THE LAUNDRY EQUIP, AND A SEPARATE 20A BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- 7. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTERS INSTALLED TO PROVIDE PROTECTION OF THE
- 8. FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE 'LISTED' TO BE SUITABLE FOR SUCH CONDITIONS.
- 9. CONTRACTOR TO EMBED 20' OF #4 AWG COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND, FRY WIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
- 10. IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12" OR WIDER SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- 11. PROVIDE AT LEAST ONE WEATHER PROOF RECEPTACLE OUTLET NOT MORE THAN 6'-6" ABOVE GRADE AND GFCI PROTECTED. AT THE FRONT AND BACK OF EACH DWELLING. ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
- 12. ALL EXTERIOR LIGHTING SHALL CONFORM TO YAVAPAI COUNTY DARK SKY ORDINANCE.
- 13. IN ATTICS, A SERVICE OUTLET & LIGHTING FIXTURE LOCATED NEAR THE APPLIANCE REQUIRING SERVICE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR ATTIC MOUNT FURNACES)

PER SECTION 210-12 OF THE 2017 NEC  
ARC-FAULT CIRCUIT  
INTERRUPTERS ARE REQUIRED

EFFECTIVE APRIL 20, 2006  
FULLY SHIELDED FIXTURES ARE  
REQUIRED FOR ALL EXTERIOR LAMPS

INTERCONNECTED SMOKE DETECTORS  
ARE REQUIRED FOR THIS PROJECT  
PER R314.3.1. EACH SLEEPING ROOM,  
OUTSIDE EACH SLEEPING ROOM, AND  
ON EACH FLOOR LEVEL



ENERGY NOTES:

- 1. WINDOWS DOOR & SKYLIGHTS
  - \* PENETRATION U-FACTOR WINDOW AND DOORS TO BE .40 STICKER SHALL REMAIN ON WINDOWS, SKYLIGHTS & DOORS UNTIL INSPECTED AND APPROVED FOR THE ABOVE REQUIREMENT. THE FOUNDATION SLAB INSULATION MAY BE ELIMINATED IF USING A MAX. 0.32 U-FACTOR ON GLAZING.
- 2. CEILINGs
  - \* CEILING INSULATION TO BE MIN. R-30 (ZONE 2); R-38 (ZONE 4) MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOIST AND MARKED WITH THE MIN. INSTALLED THICKNESS BY ONE INCH HIGH NUMBERS. A MIN. OF ONE MARKER SHALL BE INSTALLED FOR EVERY 300 SQ. FT. OF AREA WITH NUMBERS TO FACE THE ATTIC ACCESS OPENING. MARKERS MUST BE INSTALLED AT ROUGH IN OR WALL INSULATION INSPECTIONS.
- 3. WOOD FRAMED EXTERIOR WALLS (MIN. R-19 FOR 2 X 6 WALLS)
  - \* WALL INSULATION SHALL BE IN SUBSTANTIAL CONTACT WITH THE SURFACE BEING INSULATED TO AVOID AIR PATHS THAT BYPASS THE INSULATION.
  - \* INSULATION SHALL NOT BE COMPRESSED BY INSET STAPLING OF THE BATT INSULATION OR OTHER MEANS
  - \* INSULATION SHALL FILL ALL CAVITIES COMPLETELY BY CUTTING INSULATION AROUND ELECTRICAL OUTLETS AND SWITCHES AND BY SLICING INSULATION TO FIT BEHIND AND IN FRONT OF ELECTRICAL WIRING IN THE CAVITY AND PLUMBING PIPING
  - \* BAND JOISTS AND OTHER INTERSTITIAL FLOOR ELEMENTS OF THE WALL SHALL BE INSULATED
- 4. NOT USED.
- 5. BUILDING THERMAL ENVELOPE
  - THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

- A. ALL JOINTS, SEAMS AND PENETRATIONS.
  - B. SITE BUILT WINDOWS, DOORS AND SKYLIGHTS
  - C. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
  - D. UTILITY PENETRATIONS.
  - E. DROPPED CEILINGs OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
  - F. KNEE WALLS
  - G. WALLS AND CEILINGs SEPERATING GARAGE FROM CONDITIONED SPACES
  - H. BEHIND TUB AND SHOWERS ON EXTERIOR WALLS
  - I. COMMON WALLS BETWEEN DWELLING UNITS
  - J. OTHER SOURCES OF INFILTRATION.
- 6. PENETRATION AIR LEAKAGE
    - \* WINDOW, SKYLIGHT AND SLIDING GLASS DOOR SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SINGING DOORS NO MORE THAN 0.5 CFM. SPECIFICATIONS SHALL BE LISTED ON THE MANUF. LABEL. (USE TYVEK HOUSE WRAP, INSTALL PER MANUF. SPECS)

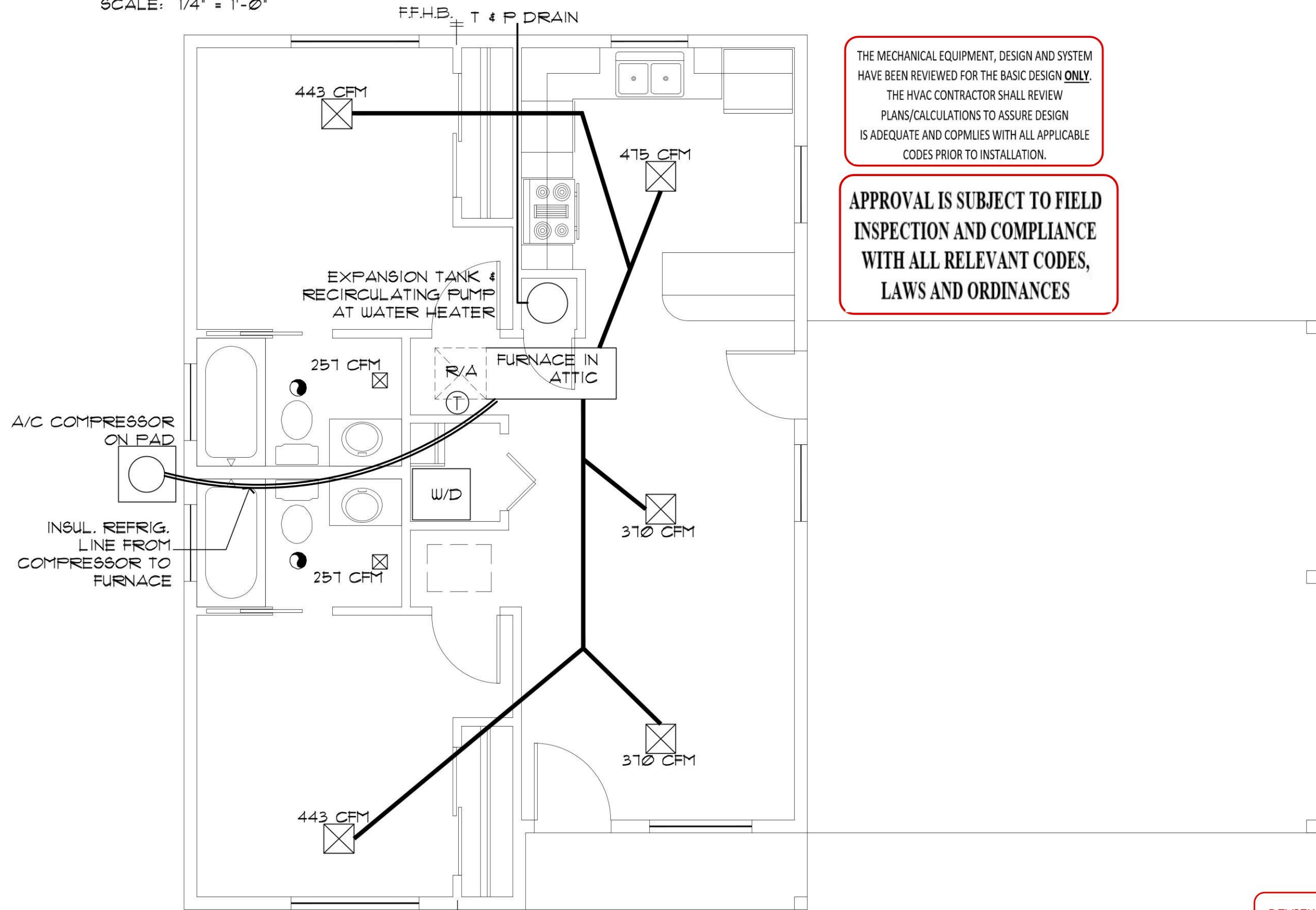
- 7. RECESSED LIGHTING
  - A. IC RATED AND LABELED WITH ENCLOSURES THAT ARE SEALED OR GASKETED TO PREVENT AIR LEAKAGE TO CEILING CAVITY OR UNCONDITIONED SPACE;
  - B. IC RATED AND LABELED AS MEETING ASTM E 2833; OR
  - C. LOCATED INSIDE AIRTIGHT SEALED BOX WITH CLEARANCES OF AT LEAST 0.5 INCH FROM COMBUSTIBLE MATERIAL AND 3 INCHES FROM INSULATION.

- 8. HEAT PUMP SUPPLEMENTARY HEAT
  - \* HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST PREVENT SUPPLEMENTAL HEAT OPERATION UNTIL THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.
- 9. CONTROLS
  - \* AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPERATE HEATING & COOLING SYSTEM.

- 10. DUCT INSULATION
  - \* SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MIN. OF R-8 (EXCEPT DUCTS THAT COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE).
- 11. SEALING
  - \* ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES (NOT FOR AIR SUPPLY) USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M6013.1 OF THE IRC.
- 12. MECHANICAL SYSTEM PIPING INSULATION
  - \* MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 125 D F OR BELOW 55 D F SHALL BE INSULATED TO A MIN. OF R-2
- 13. CIRCULATING HOT WATER SYSTEMS
  - \* ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. ALL NEW RESIDENCES WITH 2 OR MORE BATHROOMS SHALL HAVE A CIRCULATING HOT WATER SYSTEM. CHUS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HUCO WHEN THE SYSTEM IS NOT IN USE. THERMAL SIPHONING SYSTEMS SHALL HAVE A VALVE TO REDUCE FLOW. ALTERNATE SYSTEM SHALL BE CONSIDERED.
- 14. MECHANICAL VENTILATION
  - \* OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- 15. EQUIPMENT SIZING
  - \* HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION M1401.3 OF THE IRC.
- 16. AIR LEAKAGE
  - AIR FLOW RETARDERS (HOUSE WRAPS) MUST BE:
    - A. IMPERMEABLE TO AIR FLOW.
    - B. CONTINUOUS OVER THE ENTIRE BUILDING ENVELOPE
    - C. ABLE TO WITHSTAND THE FORCES THAT MAY ACT ON IT DURING AND AFTER CONSTRUCTION.
    - D. DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING.
    - E. ALL SEAMS AND EDGES MUST BE SEALED/TAPED PER MANUF. SPECIFICATIONS

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



THE MECHANICAL EQUIPMENT, DESIGN AND SYSTEM HAVE BEEN REVIEWED FOR THE BASIC DESIGN ONLY. THE HVAC CONTRACTOR SHALL REVIEW PLANS/CALCULATIONS TO ASSURE DESIGN IS ADEQUATE AND COMPLIES WITH ALL APPLICABLE CODES PRIOR TO INSTALLATION.

APPROVAL IS SUBJECT TO FIELD INSPECTION AND COMPLIANCE WITH ALL RELEVANT CODES, LAWS AND ORDINANCES

REVIEWED FOR DESIGN CRITERIA ONLY

HVAC PLAN

SCALE: 1/4" = 1'-0"

- SUPPLY-AIR GRILL
- RETURN AIR GRILL
- THERMOSTAT

NOTE: INTERIOR GAS LINES TO BE MIN. 1/2"

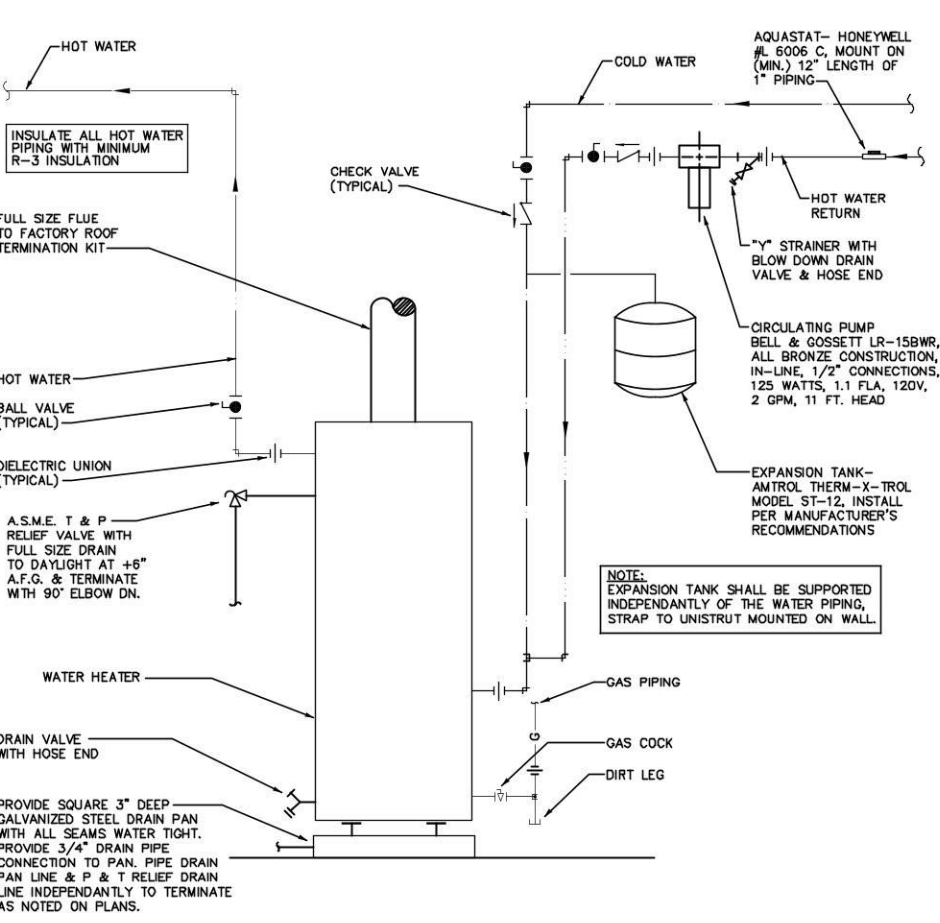
SIZE OF INCOMING WILL BE BASED ON DISTANCE TO GAS SOURCE.

GAS PIPING ISOMETRIC

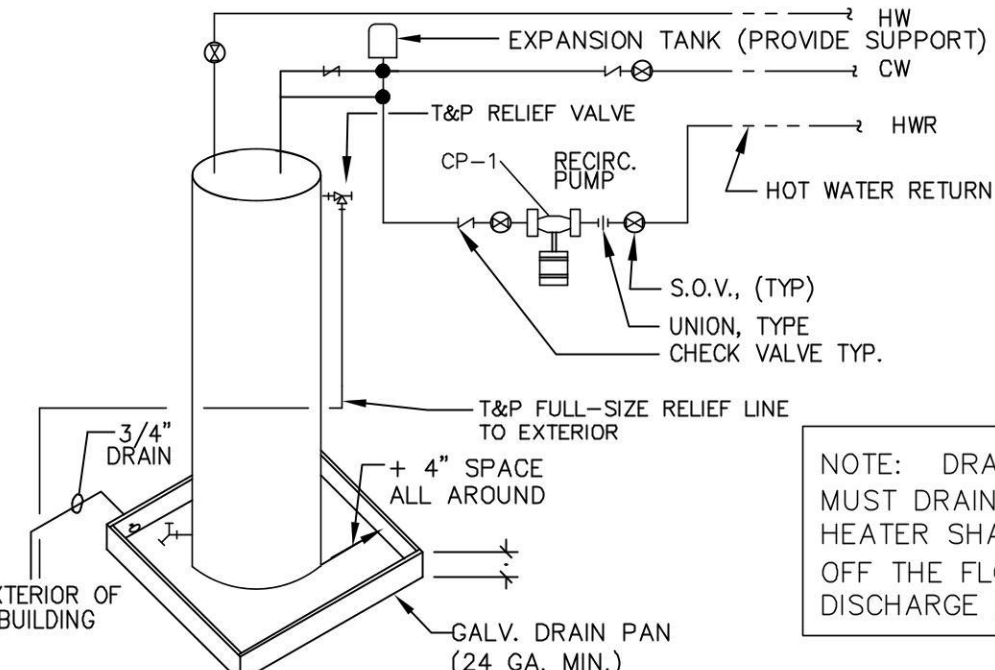
NO SCALE

GAS WATER HEATER OPTION

NO SCALE



NOTE: DRAIN PAN, AND T&P MUST DRAIN BY GRAVITY. WATER HEATER SHALL BE HIGH ENOUGH OFF THE FLOOR TO PROVIDE FOR DISCHARGE PIPING TO EXTERIOR.



ELECTRIC WATER HEATER DETAIL

NO SCALE

HVAC GENERAL NOTES:

- 1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
- 2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR
- 3. WATER HEATER RELIEF VALVE MUST EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6' ABOVE THE GROUND AND POINTING DOWNWARD.
- 4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.
- 5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.

2BDRM / 2BA  
Job no. : RIGHT PARKING  
Date : 07/07/2021  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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Chino Valley, Arizona 86323  
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architect914@cableone.net

ELECTRICAL / HVAC PLANS  
SYMBOL SCHEDULE / NOTES  
2 BEDROOM / 2 BATH - RIGHT PARKING  
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

ME-1